

**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
110 E. Main Street, Los Gatos, CA 95032  
Phone: (408) 354-6874 Fax: (408) 354-7593**

**HISTORIC PRESERVATION COMMITTEE  
PROJECT DATA SHEET**

**Project Data**

**112 Los Gatos Boulevard**

Requesting approval to remove irreparable siding on property zoned R-1D. APN 532-29-101.  
PROPERTY OWNER: Randolph Ditzler  
APPLICANT: David Zicovich  
PROJECT PLANNER: Marni Moseley

**FINAL ACTION BY THE HISTORIC PRESERVATION COMMITTEE**

**PROPERTY DETAIL**

Date structure was built: 1916

Town of Los Gatos Historic Status Code: 5S

Does property have an LHP Overlay? NO

Is structure in a historic district? NO

If yes, what district?

If yes, is it a contributor?

Findings required? NO

Considerations required? NO

See back page of this document for findings and considerations.

Comments: The applicant is requesting approval to remove the irreparable siding. The Town Building Official concurs with the irreparable assessment.  
Additionally, Town records show the following notation by Anne Bloomfield:  
Own/Res:SP RR Agent Mabie also Town Councilman 1918-38. New railing, **new siding**.

## **Required Findings**

\_\_\_\_ As required by Section 29.10.09030(e)(2) of the Town Code for the demolition of a single family residence (Preservation of historically or architecturally significant buildings) and the Secretary of Interior Standards of any historic structure.

1. The building is not associated with any events that have made a significant contribution to the Town.
2. No significant persons are associated with the site.
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
4. The structure does not yield information to Town history.
5. Structural integrity of the building.

## **Required Considerations**

### **Sec. 29.80.290. Standards for review.**

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- \_\_\_\_ 1      On landmark sites, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the landmark (and, where specified in the designating ordinance for a publicly owned landmark, its major interior architectural features) nor adversely affect the character of historical, architectural or aesthetic interest or value of the landmark and its site.
- \_\_\_\_ 2      In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.
- \_\_\_\_ 3      For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

## **Town Policy**

- \_\_\_\_ That the work proposed is compatible with the neighborhood.



May 2, 2016

Dear Historic Review Committee members,

We are requesting approval for the removal and replacement of the siding at 112 Los Gatos Blvd.

I have attached the emails exchanged with Michael Machado, the head of the Los Gatos Building Department. He has been to the jobsite and looked at the existing conditions. I have included a few pictures of those conditions.

We must have some type of moisture and vapor barrier to keep the water from damaging the building and make the house meet the heat loss requirements. In the past, a spray in, closed cell foam insulation was used, but this has led to catastrophic structural failures and is no longer considered an option. The only effective solution is to remove the siding, it will not survive the removal process, it is dry and brittle. I propose to have matching material milled in solid cedar and installed over an approved product such as Tyvek.

We thank you in advance for your considerations.

A handwritten signature in black ink, appearing to read "D. Zicovich", is positioned above the printed name and company.

David Zicovich  
Zicovich Builders Inc.

From: **David Zicovich** david@zicovich.com  
Subject: **112 Los Gatos Blvd. siding issue.**  
Date: April 20, 2016 at 9:05 AM  
To: **Mike Machado** MMachado@LosGatosCA.gov

---



Mike,

As per our conversation and review of the site conditions regarding the lack of moisture barrier and damaged siding on our historic project at 112 Los Gatos Blvd. I request permission to remove and replace all the existing siding on the project. As we have discussed, the only acceptable solution is to remove the siding install a moisture barrier such as Tyvek and install like for like real wood siding. We will reuse any siding that survives the removal process to preserve as much as possible, but as illustrated at the jobsite, the siding is very brittle and is the thinnest siding I have ever run across on an older home in Town.

Thanks for you assistance on this issue.

DZ

Sent from my iPad

From: **Michael Machado** mmachado@losgatosca.gov  
Subject: RE: 112 Los Gatos Blvd. siding issue.  
Date: April 20, 2016 at 6:21 PM  
To: David Zicovich david@zicovich.com  
Cc: Marni Moseley MMoseley@losgatosca.gov, Dorian Pradon DPradon@losgatosca.gov, Building Group BuildingGroup@losgatosca.gov

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MM

Hi David,

I discussed your request with Marni and the next Historic Preservation Committee Meeting is next week, Wednesday, May 27, and the Agenda is already set and full. The next HPC Meeting is May 25 but in order to try to help you out, Marni will discuss with the Committee the possibility of having a Special Meeting in between.

In order to formalize your request to be on the HPC Agenda, please submit a letter detailing your request as you state in your email below, along with photographs of the existing conditions and the Demolition Floor Plan and Elevations. Please collaborate with Marni regarding any other details regarding your submittal and the size and number of submittal documents required.

I concur with your assessment of the condition of the siding and studs as observed at the jobsite. The conditions are irreparable and the historic house cannot be properly preserved without removal of the siding and protection of the structural framing with a proper moisture barrier and the replacement with real wood siding of the required thickness, milled to match the original siding profile.

All the Best,  
Mike

Michael M. Machado, CBO  
Building Official  
Town of Los Gatos  
Community Development Department  
Building & Code Compliance Division  
408.354.6815

-----Original Message-----

From: David Zicovich [mailto:david@zicovich.com]  
Sent: Wednesday, April 20, 2016 9:06 AM  
To: Michael Machado  
Subject: 112 Los Gatos Blvd. siding issue.

Mike,

As per our conversation and review of the site conditions regarding the lack of moisture barrier and damaged siding on our historic project at 112 Los Gatos Blvd. I request permission to remove and replace all the existing siding on the project. As we have discussed, the only acceptable solution is to remove the siding install a moisture barrier such as Tyvek and install like for like real wood siding. We will reuse any siding that survives the removal process to preserve as much as possible, but as illustrated at the jobsite, the siding is very brittle and is the thinnest siding I have ever run across on an older home in Town.

Thanks for you assistance on this issue.

DZ

Sent from my iPad















GENERAL NOTES

1. GOVERNING CODES: All work shall conform to the following codes & standards:

a) 2013 California Residential Code (CRC) 2012 Edition (IRC)

b) 2013 California Building Code (CBC) 2012 Edition (IBC)

c) 2013 California Mechanical Code (CMC) 2012 Edition (UMC)

d) 2013 California Plumbing Code (CPC) 2012 Edition (UPC)

e) 2013 California Electric Code (CEC) 2011 Edition (NEC)

f) 2013 California Fire Code (CFC) 2012 Edition (IFC)

g) 2013 California Energy Code

h) 2013 California Green Building Standards Code

In addition to the codes referenced above, all work shall conform to all local ordinances and codes as applicable. Cross reference all code numbers and verify consistency as required.

2. All work done pursuant to these drawings and specifications shall comply with all ordinances and regulations which apply to the work and shall in any case conform to the latest edition of the CRC/IBC/CBC/CMC (CA Residential Code/International Residential Code & California Building Code/International Building Code) currently enforced and all city, county and/or state codes as applicable.

3. Britt Rowe shall not be held responsible for the design, coordination and/or implementation of any and all "Design-Build" work, including but not limited to the following: See the appropriate code references below for design and installation requirements.

a) Electrical: Per CEC (California Electric Code) current edition.

b) Mechanical: Per CMC (California Mechanical Code) current edition.

c) Plumbing: Per CPC (California Plumbing Code) current edition.

d) Fire Sprinklers: CFC (California Fire Code)

Verify and address all additional local ordinances and codes which may apply to the specific "Design-Build" application as required.

4. Britt Rowe is not responsible for the design, coordination, or implementation of any work performed by consultants, including but not limited to, structural engineering, soil engineering, civil engineering, land surveying, electrical engineering, landscape architecture and/or Title 24 Energy compliance.

5. In addition to inspections required by CBC 110, the owner, contractor and/or structural engineer of record, acting as the owner's agent, shall employ one or more special inspectors or Testing Agencies, who shall provide "Special Inspections" during the course of construction for the following types or work per CBC 1704, 1707 or 1708 including but not limited to:

a) Concrete: Where the structural design exceeds a (F) of 2500 PSI

b) On site structural welding, including welding of reinforcing steel.

c) Drilled piers, caissons and structural masonry.

d) Retrofit epoxy set hold downs and/or anchor bolts.

Special inspectors credentials shall be provided to the local jurisdiction upon request.

6. All contractors shall be licensed with possession of the appropriate insurance policies i.e: Workman's Compensation, Liability, etc., and a valid business license within the jurisdiction of the subject property project site.

7. The contractor and/or subcontractors are to verify ALL existing conditions and/or discrepancies before commencing with work in order to ensure conformance with the "Construction Documents". ALL discrepancies shall be brought to the attention of Britt Rowe and/or the Structural Engineer of Record prior to commencement of construction. All requests for "Change Orders" shall be submitted in writing to Britt Rowe for approval.

8. Britt Rowe is not responsible for the erection, fabrication and/or relative job safety. The general contractor shall comply with all required safety orders per CAL-OSHA requirements and regulations.

9. Regardless of dimensions shown, all new work shall align exactly with existing work with respect to floor elevations, column centerlines, wall faces, etc... (UNO)

10. Layout for new work is largely based upon relationships to existing conditions of the site and/or existing structures. Any questions regarding the intent related to the layout of the new work shall be brought to the attention of Britt Rowe, prior to the commencement of any work. The contractor shall immediately notify Britt Rowe of all discrepancies prior to the commencement of any work.

11. Preference shall be given to written/figured dimensions on the drawings over scaled measurements. The "Plans, Specifications and General Notes" are intended to agree and supplement one another. Anything indicated in one and not the other, shall be executed as if in all. In cases of direct conflict, the most restrictive shall govern.

12. All work shall be plumb, square and true and shall be of good "Workmanlike" quality as acceptable to the appropriate trade's standard practices and those of the trade's councils and/or organizations.

13. Any work and/or item not specifically called for in the drawings, but required for a complete and fully functioning installation consistent with the intent of the "Construction Documents" shall be supplied by the general contractor and/or subcontractors as required.

14. The intent of the "Construction Documents" is to include ALL labor, materials, equipment and transportation necessary for the complete and proper execution of the work.

15. The project "Specification Book" shall take precedence over noted specifications when applicable.

16. Civil, Soil and Structural Engineering specifications shall take precedence over any other specifications.

17. Britt Rowe retains all rights and ownership to all drawings and specifications. These documents may not be used in whole, or in part, without the expressed written consent from Britt Rowe.

18. The Owner/Developer/Client reserves the right to make alterations to the design during the course of construction. All changes shall be approved by the local building official and shall, in any case, comply with the current editions of the CRC, CBC, CMC, CPC, CFC, CEC and/or CES as required.

19. New Construction or remodeling is largely dependent upon existing site conditions and therefore a "Site Survey" is recommended and if provided, shall be generated by a licensed Land Surveyor or Registered Civil Engineer and shall contain the following information: Property corners, property lines, existing building(s), easements, topography lines, utilities and/or significant trees. If a Site Survey is NOT provided, Britt Rowe will not be held responsible for any and all discrepancies relating to the site and existing conditions. In any event, Britt Rowe shall not be responsible for work performed by others and provided for the purpose of completing the project.

GENERAL PROJECT INFORMATION

Owner:

Mr. Randy Ditzler  
112 Los Gatos Blvd.  
Los Gatos, CA 95030

Project Address:

112 Los Gatos Blvd.  
Los Gatos, CA 95030

APN:

532-29-101

Lot Size:

7,132 SF (.16 Acres)

Lot Slope:

Flat (Less Than 5%)

Zoning:

R-1D (Residential Downtown)

Tract:

Occupancy Group:

R3/U

Type of Construction:

V-B

Floor Area

(e) Living Area	1296.00 SF	
(n) Addition Area	527.00 SF	
(n) Cellar Area	1960.00 SF	Not included in FAR
(n) Total Floor Area	1823.00 SF	

Setbacks

Front	(e) 18'-1"	15'-0"
Rear	(n) 60'-5"	20'-0"
Left Side	(e) 5'-0"	5'-0"
Right Side	(e) 5'-0"	5'-0"

Coverages

Living Space	1823.00 SF	
Porches & Patio	493.00 SF	Front & Rear
Accessory Garage	464.00 SF	

Building Height

Main Residence	(e) 16'-4"	30'-0"
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Scope of Work:

Remodel & addition to an existing single family, single story, residential home. The additions are as follows: (1) Addition @ the rear of the house for a new Family Room, Master Bedroom & Covered Patio. (2) A new cellar shall be constructed underneath the existing house. The house shall be lifted, supported, structurally retrofitted and replaced in its existing location. The cellar shall be provided with a Bedroom, Bath, Game Room and Mechanical Room.

In addition to the additions, the entire existing house shall be remodeled & provided with new windows and doors throughout except at the front facade which is historical and shall be left "as is". The existing area of complete remodel is 1296.00 SF.

See architectural & structural plans within this set of plans.

REVISIONS:

#

BR

Britt • Rowe

108 N. Santa Cruz Ave.  
Los Gatos, CA 95030

408.354.6224 (office)

408.354.6514 (fax)

www.britt-rowe.com

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SHEET INDEX

Sheet ID	Drawing Title
A0.1	Title Sheet & General Project Information
A0.2	"Blueprint for a Clean Bay"
A0.3	CalGreen Notes & Requirements
A1.1	Site Plan & Notes
A2.1	Existing Floor Plan - Demolition
A2.2	Existing Exterior Elevations
A3.1	Proposed Cellar Floor Plan
A3.2	Proposed Main Level Floor Plan
A4.1	Roof Plan - Attic Venting Notes
A5.1	Exterior Elevations
A5.2	Exterior Elevations
A6.1	Building Cross Sections
A9.1	(e) Accessory Garage Plan(s)/Elevations
A9.2	(n) Accessory Garage Plan(s)/Elevations
DW.1	Door/Window Schedules & Notes
E.1	Cellar Level Electrical Plan
E.2	Main Level Electrical Plan
E.3	Accessory Garage Electrical Plan(s)
EN.1	Electrical Code Notes
EN.2	Electrical Code Notes & Legend
GN.1	General Floor Plan Notes
GN.2	General Floor Plan Notes
GN.3	General Floor Plan Notes

Sheet ID	Drawing Title
S.1	Foundation Plan
S.2	Main Level Floor Framing & Cellar Level Shear
S.3	2nd Level Ceiling Framing - Main Level Shear
S.4	Roof Framing Plan
SD.1	Structural Details
SD.2	Structural Details
SD.3	Structural Details
SN.1	Structural Notes
SN.2	Structural Notes & Tables/Schedules
T24-1	Title 24 Energy Requirements & Notes
T24-2	Title 24 Energy Requirements & Notes

PLAN SYMBOLS

1  
A-1

ELEVATION INDICATOR  
SHEET INDICATOR

1  
SD1

DETAIL REFERENCE  
SYMBOL

1

REVISION SYMBOL  
SHEAR WALL SYMBOL

1  
A

WINDOW/DOOR SYMBOL  
DOORS = NUMBERS  
WINDOWS = LETTERS  
"T" INDICATES TEMPERED  
SAFETY GLAZING (TYP.)

1

COLUMN GRID INDICATOR

X/Y

BUILDING SECTION SYMBOL  
X = HORIZONTAL  
Y = VERTICAL

0°

MATCH LEVEL LINE  
FLOOR ELEVATION

NORTH ARROW

VICINITY MAP

PROJECT CONSULTANTS

**BUILDING DESIGNER**  
BRITT • ROWE  
David Britt/Michael Rowe/Tony Rowe  
108 N. Santa Cruz Avenue  
Los Gatos, CA 95030  
408.354.6224  
408.354-6514 (fax)  
peloncito@mac.com

**STRUCTURAL ENGINEER**  
CHARLES WILLIAMS ENGINEERING  
Mr. Charles Williams  
PO Box 1152  
Mountain View, CA 94042  
650.279.8756  
clwce@aol.com

**T24 ENERGY ANALYST**  
FRI ENERGY CONSULTANTS, INC.  
Nicholas Bignardi  
21 N. Harrison Avenue, Suite 210  
Campbell, CA 95008  
408.866.1620  
title24@ix.netcom.com

PARCEL MAP

DRAWING: General Project Info

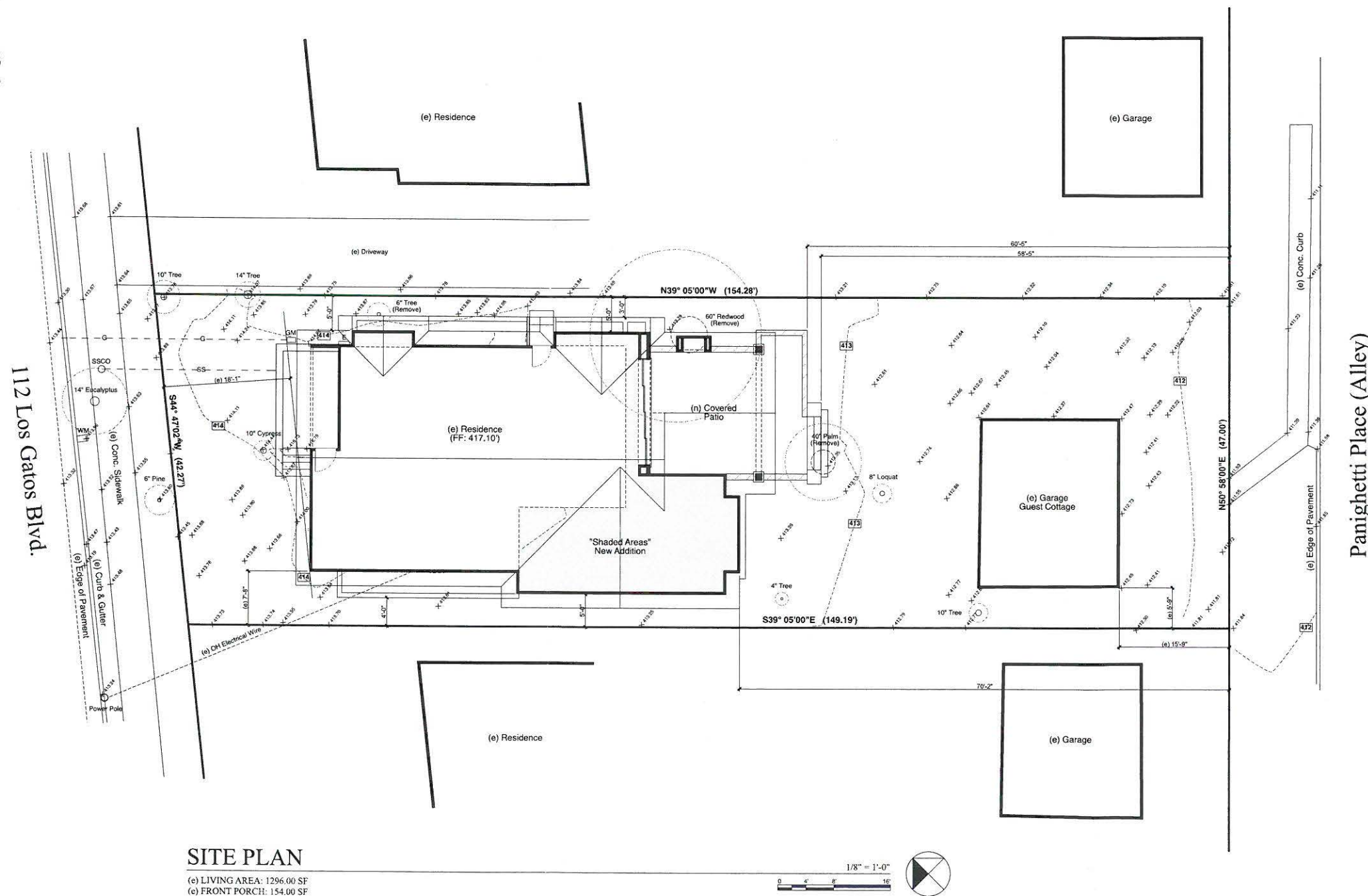
DATE: 10/7/15

SCALE: Noted

DRAWN BY: MAR

A0.1

1. See Civil Engineer's "Grading & Drainage Plan(s)" as applicable for topography, site work and underground construction (typ.) All grading shall be performed in accordance with all local codes & requirements. Civil Engineer's plans shall take precedence over any architectural site plan(s) and/or landscape plan(s).
2. In new construction, all proposed utilities shall be installed underground. See specific utility provider's engineered drawings and/or details for layout, design & specification of service. When existing sewer laterals are approved for reuse, existing lines shall be televised and approved by the local sanitation district prior to inspection.
3. When required and as applicable, a licensed Civil Engineer or Licensed Land Surveyor shall provide written certification of setback compliance from property lines & all relative pad elevations for all new construction on the site.
4. Unless noted otherwise on Civil Engineering Plans (Grading & Drainage), the ground immediately adjacent to the foundation shall be sloped away from the building at a slope of 5% for a minimum distance of 10'-0" measured perpendicular to the face of the wall. If physical obstructions or lot lines prohibit 10'-0" of horizontal distance, a 5% slope to the improved surface shall be used as an alternative method of diverting water away from the foundation. Drainage swales used for this purpose shall be sloped 2% where located within 10'-0" of the building foundation. Impervious surfaces within 10'-0" of the building foundation shall be sloped a minimum of 2% away from the building, CBC 1803.3. See exception for allowable finish grade slope reduction to 2% away from structure.
5. All trees marked on the "Site Plan" not scheduled for removal shall be protected by the appropriate tree protection measures determined by the City of Abbeville or record or local planning jurisdiction as applicable & required as a condition of approval. No equipment, materials or work shall commence until all tree protection fencing is installed. Tree protection fencing shall remain in place until the project is ready for final inspection. Any work required within the fenced protected area shall be performed with hand tools.
6. As applicable, see consulting Landscape Architect's drawings for flatwork, paving, recreational features, proposed planting & irrigation installations.
7. **Tree Identification:** Approved numbers and addresses shall be provided for all new buildings in such a position as to be plainly visible & legible from the street or road fronting the property. CBC Section 501.2

[illegible]

BR

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DITZLER RESIDENCE

112 Los Gatos Blvd.  
Los Gatos, CA 95030

DRAWING:	Site Plan
DATE:	10/7/15
SCALE:	Noted
DRAWN BY:	MAR

### A1.1



1. Scope of work to be removed and/or demolished shall be indicated on the drawings & shall include the demolition, removal and/or relocation of existing materials and/or assemblies necessary to install and/or construct the project as indicated on the proposed floor plans, elevations & other plans contained within the drawing set. All demolition shall coordinate with the extent of the new work on the proposed plans.
2. The general contractor shall design, construct & provide proper shoring & structural support as required throughout the demolition process & construction as required per CAL OSHA requirements.
3. All existing portions of the project that are designated to remain shall be protected from damage. Any question as to what shall remain shall be brought to the attention of the designer and/or owner prior to commencement of the work.
4. Where salvage and/or recycling is required by the drawings and/or specifications, or so directed by the local jurisdiction, all materials, fixtures, equipment, etc., shall be removed by hand in a careful manner to avoid damage and transported to the appropriate facilities.
5. During the course of demolition, it shall be the responsibility of the general contractor to use whatever methods required to limit the amount of airborne dust & dirt. Follow all "Bay Area Air Quality Management District" recommendations and requirements (as applicable) for all aspects of the demolition, including, as applicable, the removal of asbestos materials.
6. Replace & re-install drywall & other interior wall members as required and permitted by the local jurisdiction. Remove (e) walls, windows & doors as indicated on the Demolition Plan. Reconstruct, relocate and/or replace per new floor plan. Remove (e) baseboards, crown & casing where walls, windows and doors are to be removed & replace per new finish plans/schedule as applicable.
7. Remove/relocate (e) electrical fixtures, switches and outlets as required. Upgrade main panel as required to service new electrical loads. Remove (e) circuits to sub-panel or main panel or to nearest active switch or junction box. Safely tie & cap all terminations as required.
8. Remove (e) floor covering in all areas as indicated on the Demolition Plan. Reinstall schedule or plan. Remove all cabinetry as indicated on plans as applicable to the new layout.
9. Remove all rough plumbing, fixtures and hardware as indicated on plans as applicable. Cap terminations as required.
10. If utility service is to be interrupted, verify and confirm w/owner regarding timing to limit inconvenience. Provide temporary service as required and permitted by local jurisdiction.
11. Remove and haul away debris as required to maintain a clean job site. All construction interference with public sidewalks, curbs, and/or walkways shall be approved by the local jurisdiction and shall in any case kept cleaned & free of any debris that may interfere with their normal function.

Non-Historic Structures (Not in an historic district or on a historic site and/or constructed after 1941)  
Demolition: The definition of demolition as set forth in Section 29.10.020 is attached.

- Demolition of more than fifty (50) percent of all exterior wall areas
- Failure to maintain a contiguous (connecting without a break) portion of existing exterior wall area that is 50% or more of the total exterior wall area.
- The remaining exterior wall area must maintain either the existing interior or existing exterior wall covering.

- Removal of more than twenty-five (25) percent of the wall area facing a public street(s) and/or fifty (50) percent of all exterior wall area; or
- Enclosure or alteration of more than twenty-five (25) percent of the wall area facing a public street and/or fifty (50) percent of the exterior wall area so that they no longer function as exterior walls.

All remaining exterior wall area must be contiguous. No new exterior wall covering shall be permitted over the existing exterior wall covering. There are exceptions for replacement, repair or removal. Please see

- When a section of exterior wall has both the interior and exterior wall covering removed, this section of wall is considered demolished, even if the structural components (i.e. studs or sheathing) of the wall remain, except for historical structures.
- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.0903. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Department at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Department at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- Exterior wall covering means the finished surface of an exterior wall (i.e. stucco, siding or shingles)
- Interior wall covering means the finished surface of an interior wall (i.e. sheetrock or plaster)
- Exterior wall means the side of a building connecting foundation and roof. A wall encompasses the total height and width of the side of the building, the exterior or interior wall covering and studs/structural elements used in framing the wall.
- Existing wall area does not include existing door and window openings.
- If the connection from the roof all the way to the foundation is broken, contiguity is broken. A one foot minimum connection is typically required to qualify as contiguous.

Property Owner \_\_\_\_\_ Architect of Record \_\_\_\_\_  
Engineer of Record \_\_\_\_\_ Contractor of Record \_\_\_\_\_

It is strongly recommended to conduct a pre-construction site meeting with the Town of Los Gatos Planner of Record & designated Building Official to completely understand the demolition definitions noted above.



(c) LIVING AREA: 1296.00 SF  
(c) FRONT PORCH: 154.00 SF

Total Exterior Wall Area: 869.00 SF  
Total Exterior Wall Area Removed: 394.00 SF (45%)  
Total Exterior Wall Area to Remain: 475.00 SF (55%)


**Britt - Rowe**  
108 N. Santa Cruz Ave.  
Los Gatos, CA 95030

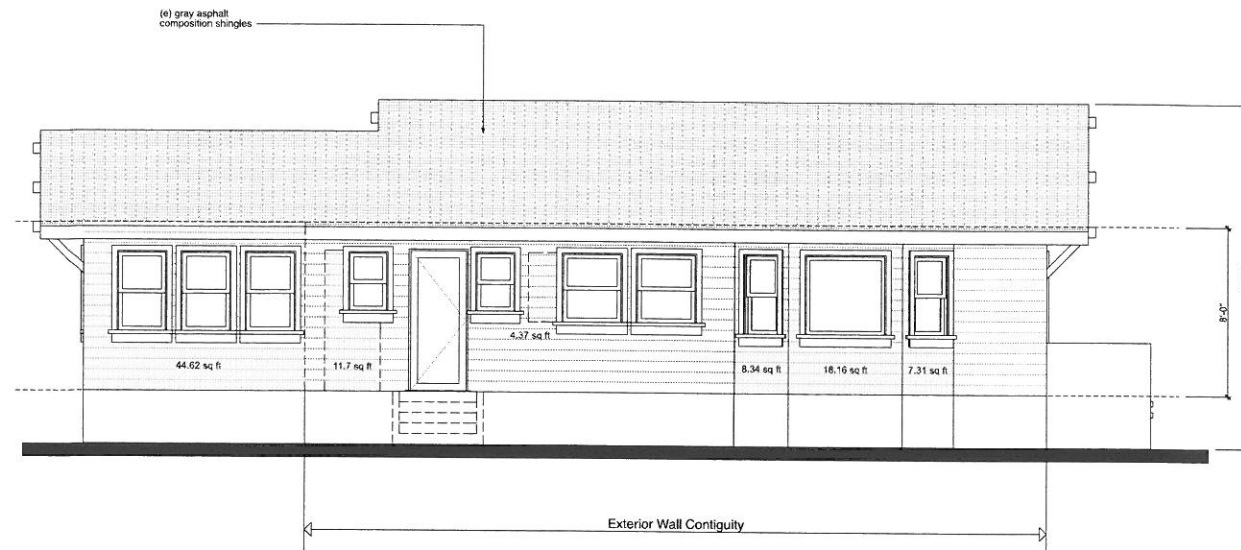
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www.britt-rowe.com

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**DITZLER RESIDENCE**  
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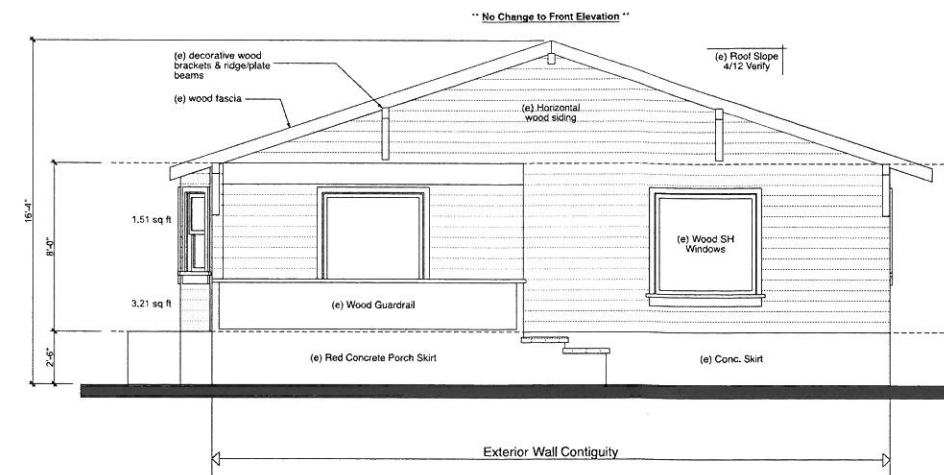
DRAWING:	Existing Floor Plan
DATE:	10/5/15
SCALE:	Noted
DRAWN BY:	MAR

## A2.1



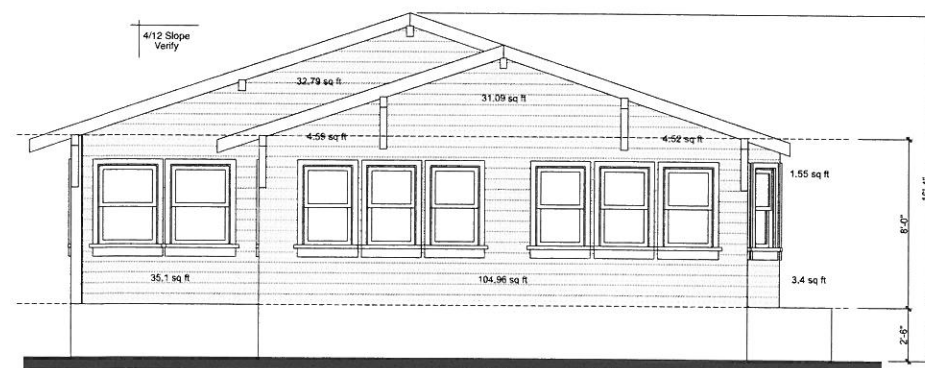
(E) LEFT SIDE ELEVATION (NE)

(e) Exterior Wall Area: 193.00 SF  
 (e) Exterior Wall Area to Remove: 95.00 SF (49%)  
 (e) Exterior Wall Area to Remain: 98.00 SF (51%)



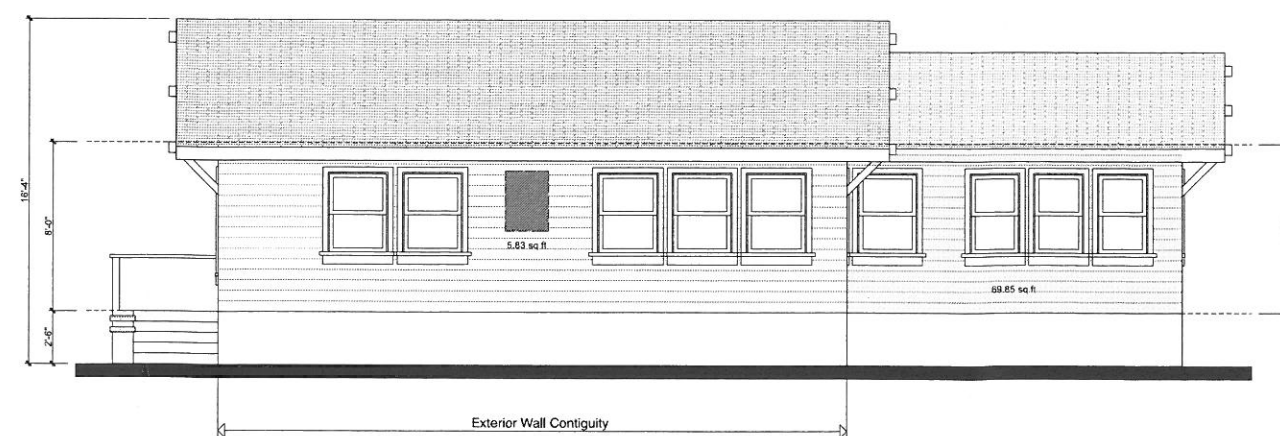
(E) FRONT ELEVATION (NW)

(e) Exterior Wall Area: 251.00 SF  
 (e) Exterior Wall Area to Remove: 5.00 SF (2%)  
 (e) Exterior Wall Area to Remain: 246.00 SF (98%)



(E) REAR ELEVATION (SE)

(e) Exterior Wall Area: 218.00 SF  
 (e) Exterior Wall Area to Remove: 218.00 SF (100%)  
 (e) Exterior Wall Area to Remain: 0.00 SF (0%)



(E) RIGHT SIDE ELEVATION (SW)

(e) Exterior Wall Area: 207.00 SF  
 (e) Exterior Wall Area to Remove: 76.00 SF (37%)  
 (e) Exterior Wall Area to Remain: 131.00 SF (63%)

REVISIONS: #

BR

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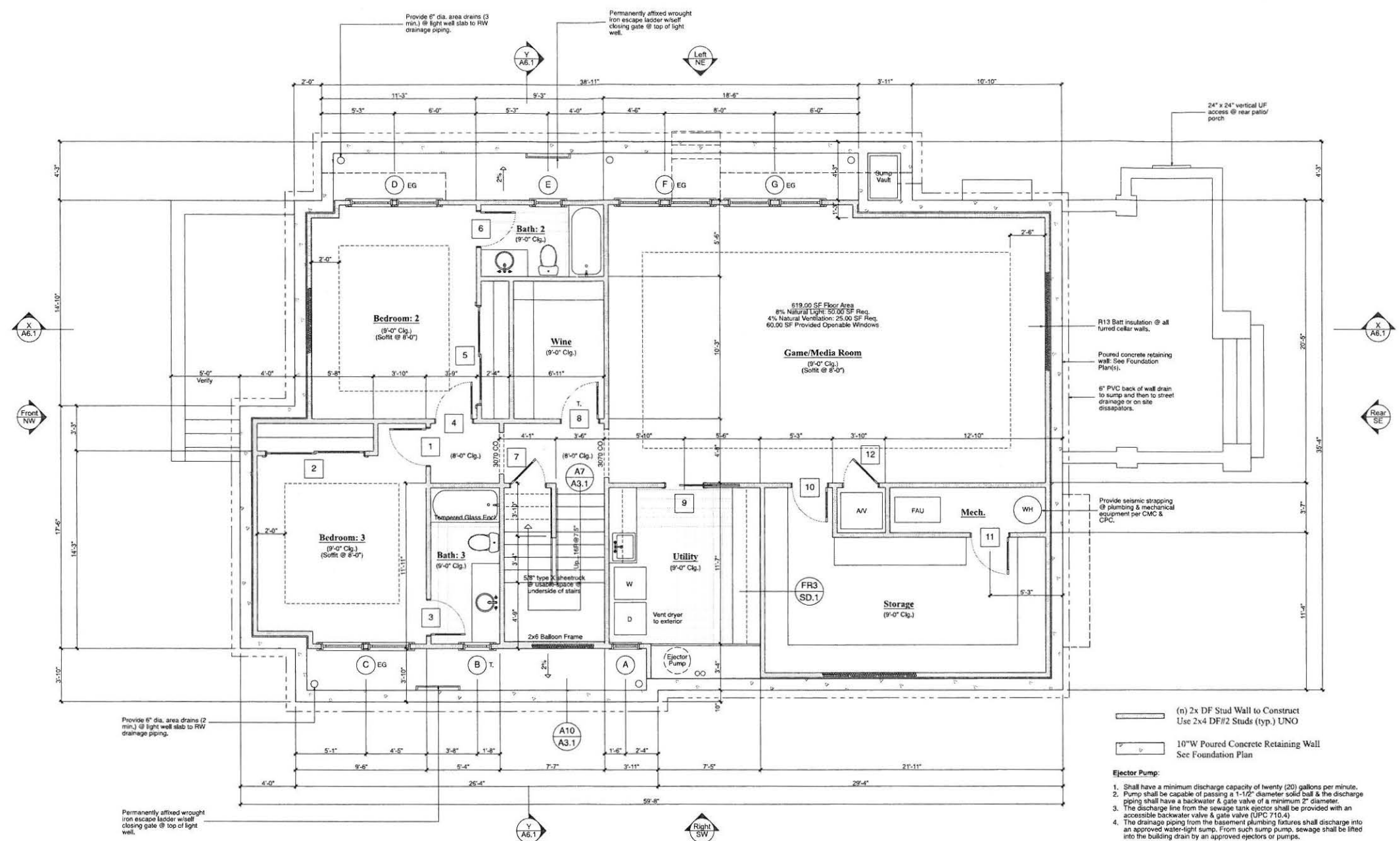
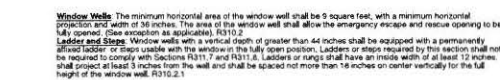
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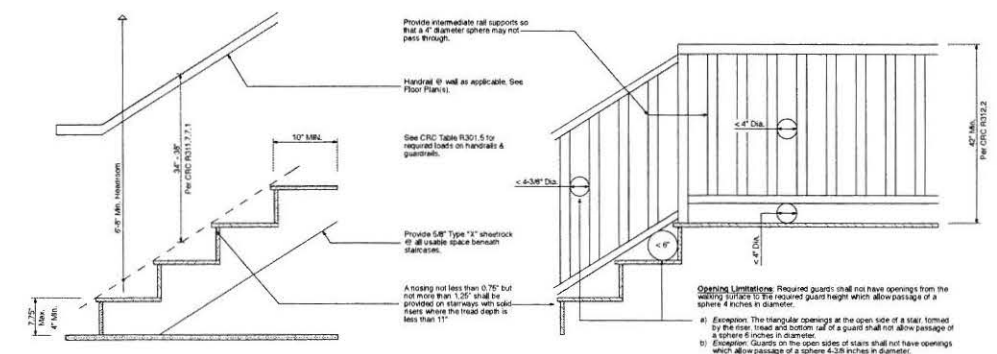
DRAWING: (e) Exterior Elevations  
 DATE: 10/5/15  
 SCALE: Noted  
 DRAWN BY: MAR

A2.2



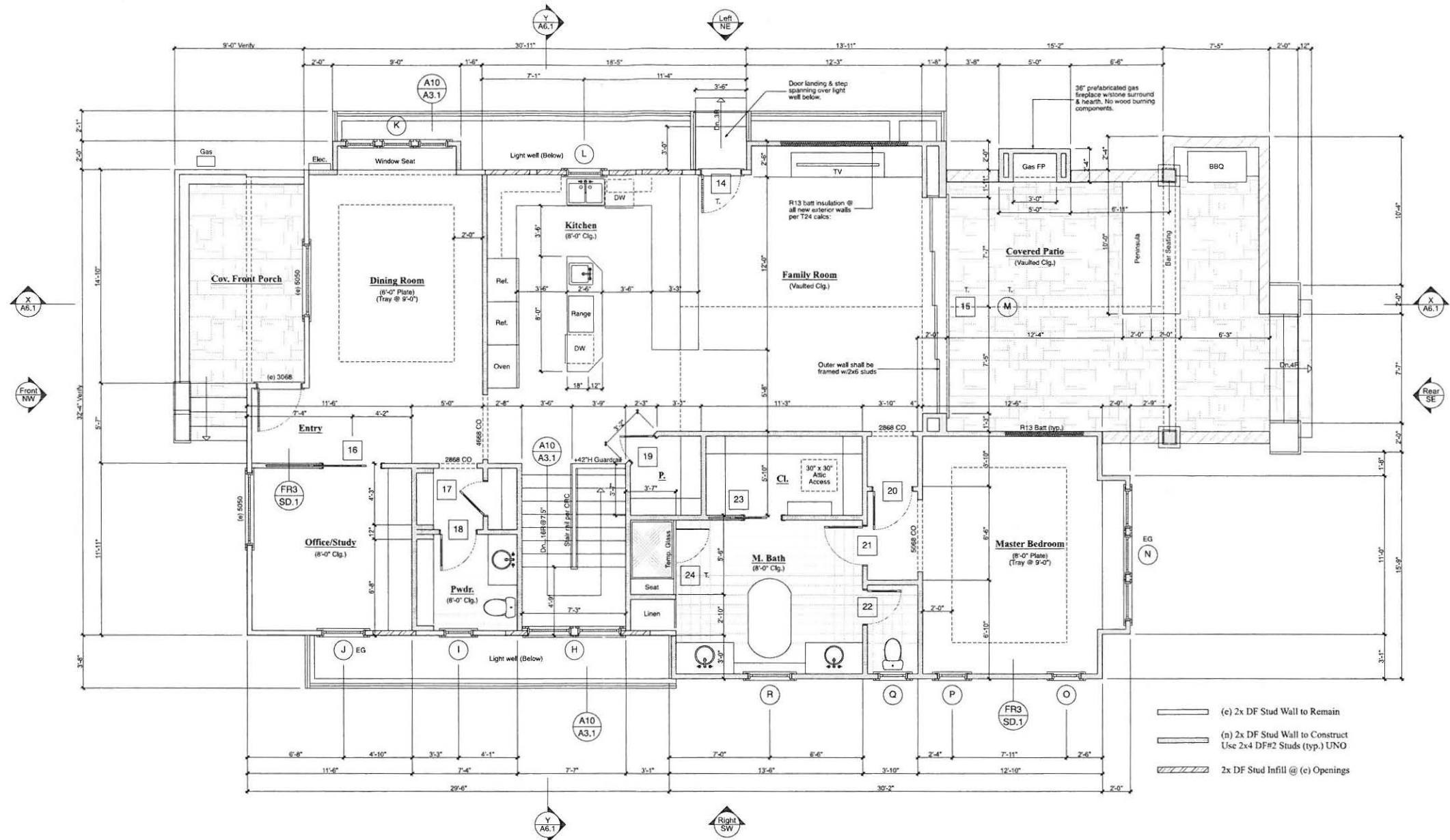


(n) LIVING AREA: 1960.00 SF



A7

### A3.1



(N) MAIN LEVEL FLOOR PLAN

(c) LIVING AREA: 1296.00 SF  
(c) FRONT PORCH: 154.00 SF  
(n) ADDITION: 527.00 SF  
(n) COVERED PATIO: 339.00 SF (REAR)

REVISIONS: #

BR

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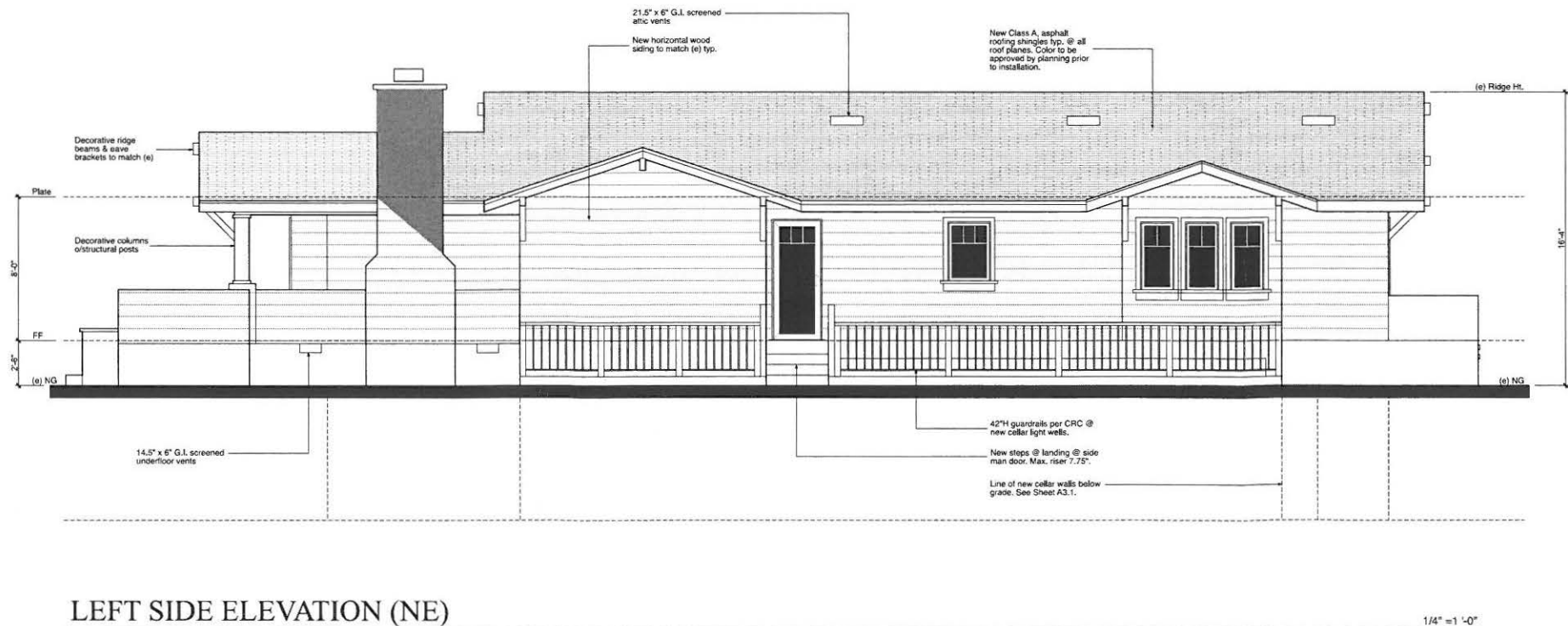
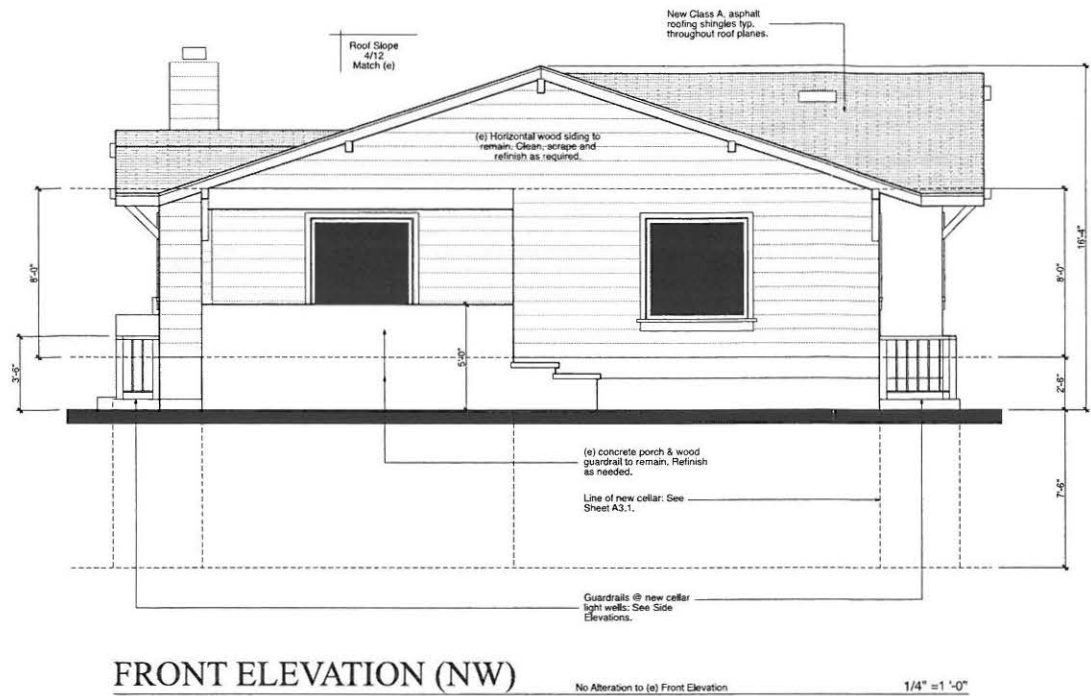
DITZLER RESIDENCE  
112 Los Gatos Blvd.  
Los Gatos, CA 95030

DRAWING:	Main Level Floor Plan
DATE:	10/7/15
SCALE:	Noted
DRAWN BY:	MAR

A3.2



EXTERIOR FINISH NOTES	
<b>ROOFING:</b>	
Class A, asphalt composition roofing shingles (40 year) o/minimum 30# building paper or equal, o/CDX or OSB roof sheathing. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheathing may be used in lieu of standard plywood upon receiving approval from the engineer of record. Where roof slopes are less than 4/12, use (2) layers of roofing underlayment. CRC R905.2.2 & R905.7.2	
<b>SIDING:</b>	
Exterior Walls: Horizontal wood siding to match (e), o/(1) layer of 30# building paper or equal, o/CDX plywood wall sheathing, nailed @ 6/12 minimum. See engineer's "Shear Wall Schedule" for specified plywood thickness and minimum nailing requirements. OSB wall sheathing may be used in lieu of plywood with engineer of record's approval.	
Non Shear Walls: Provide a minimum of 3/8" CDX plywood wall sheathing, "Full Wrap". Nail w/8d @ 6/12 minimum. For remodel projects, only new walls shall receive full wrap sheathing (UNO).	
Wall Base: Provide copper or G.I. base of wall drip flashing (weep screed) per CBC Section 2512.1.2. Install 2" minimum above paved surfaces & 4" above earth grades.	
<b>DOORS &amp; WINDOWS:</b>	
All exterior doors (with glass) & windows shall be constructed with dual paned, low "E" glazing. Tempered glazing shall be required per CRC Sections R308 & R311. Door & window manufacturer shall be selected & approved by the property owner. See Sheet DW.1 for additional door & window notes & schedules.	
<b>ACCENTS:</b>	
See Exterior Elevations for additional wall & roof details & specifications.	



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DRAWING: Exterior Elevations

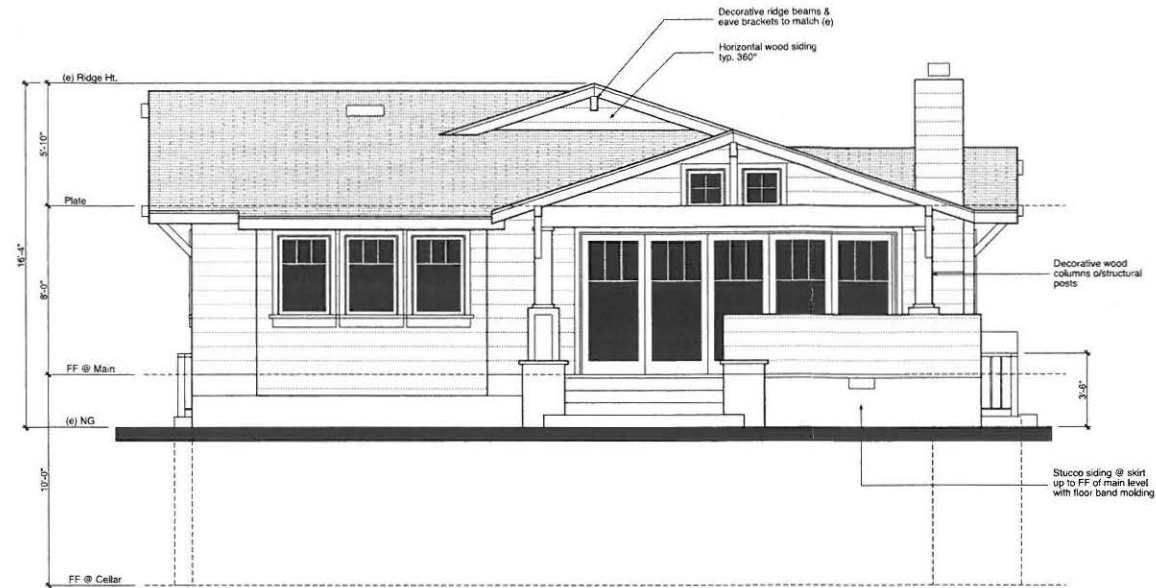
DATE: 10/7/15

SCALE: Noted

DRAWN BY: MAR

A5.1

EXTERIOR FINISH NOTES	
<b>ROOFING:</b>	
Class A, asphalt composition roofing shingles (40 year) or minimum 30# building paper or equal, or CDX or OSB roof sheathing. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheathing may be used in lieu of standard plywood upon receiving approval from the engineer of record. Where roof slopes are less than 4/12, use (2) layers of roofing underlayment, CRC R905.2.2 & R905.7.2	
<b>SIDING:</b>	
Exterior Walls: Horizontal wood siding to match (e), or (1) layer of 3/8" building paper or equal, or CDX plywood wall sheathing, nailed @ 6/12 minimum. See engineer's "Shear Wall Schedule" for specified plywood thickness and minimum nailing requirements. OSB wall sheathing may be used in lieu of plywood with engineer of record's approval.	
Non Shear Walls: Provide a minimum of 3/8" CDX plywood wall sheathing, "Full Wrap". Nail w/8d @ 6/12 minimum. For remodel projects, only new walls shall receive full wrap sheathing (UNO).	
Wall Base: Provide copper or G.I. base of wall drip flashing (weep screed) per CBC Section 2512.1.2. Install 2" minimum above paved surfaces & 4" above earth grades.	
<b>DOORS &amp; WINDOWS:</b>	
All exterior doors (with glass) & windows shall be constructed with dual paned, low "E" glazing. Tempered glazing shall be required per CRC Sections R308 & R311. Door & window manufacturer shall be selected & approved by the property owner. See Sheet DW.1 for additional door & window notes & schedules.	
<b>ACCENTS:</b>	
See Exterior Elevations for additional wall & roof details & specifications.	



REAR ELEVATION (SE)

1/4" = 1'-0"



RIGHT SIDE ELEVATION (SW)

1/4" = 1'-0"

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DRAWING: Exterior Elevations

DATE: 10/7/15

SCALE: Noted

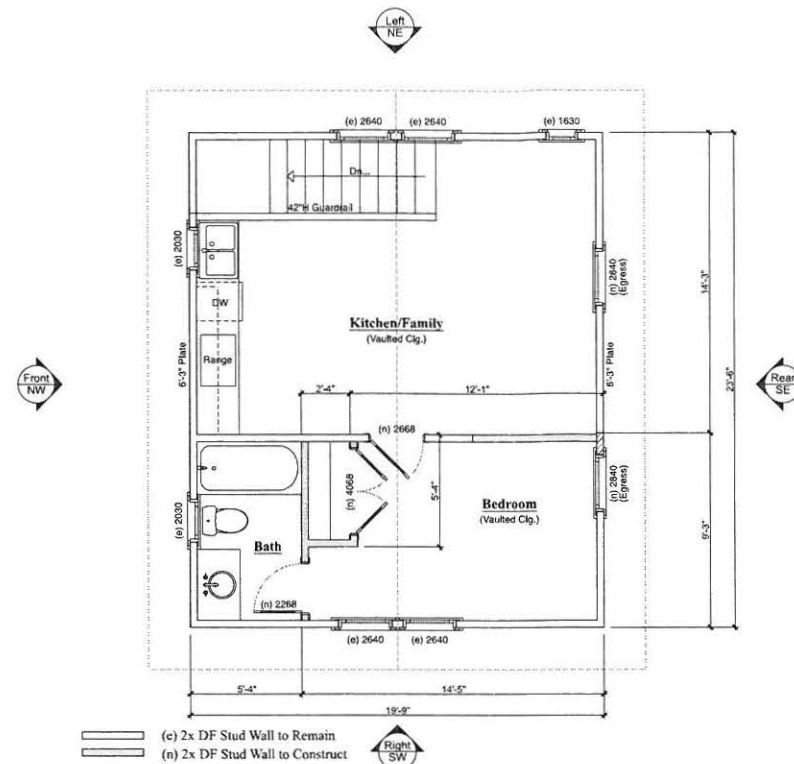
DRAWN BY: MAR

A5.2



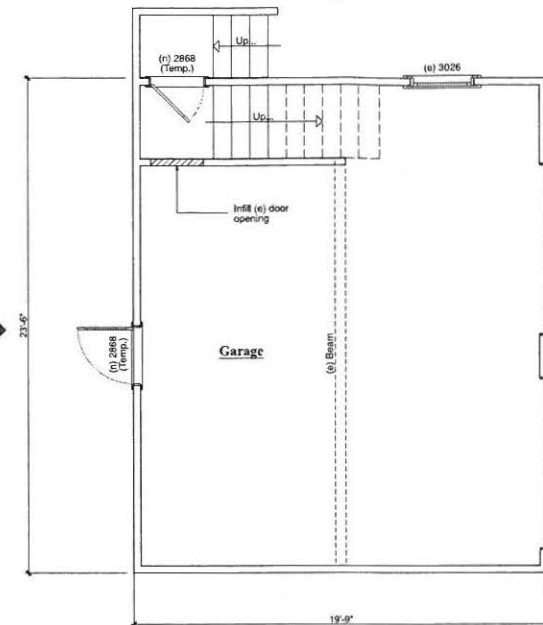


REAR ELEVATION (NE) 1/4" = 1'-0"



(n) Accessory 2nd Floor Plan 1/4" = 1'-0"

Living Area: 464.00 SF  
No Added SF



(n) Accessory Garage Plan 1/4" = 1'-0"

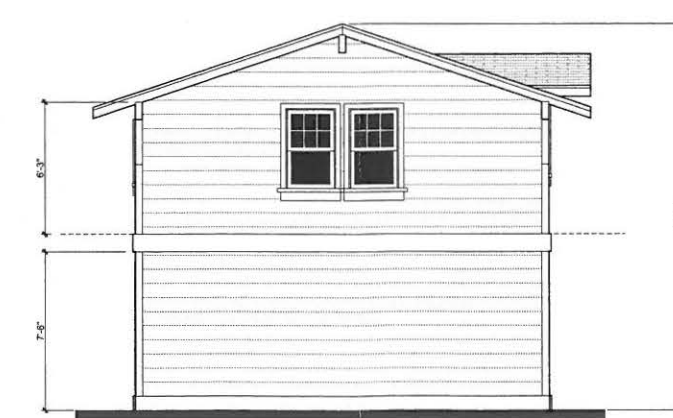
Garage Area: 464.00 SF



FRONT ELEVATION (NW) 1/4" = 1'-0"



LEFT ELEVATION (NE) 1/4" = 1'-0"



RIGHT ELEVATION (SW) 1/4" = 1'-0"

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DRAWING:	Accessory Garage
DATE:	10/7/15
SCALE:	Noted
DRAWN BY:	MAR

A9.2